

**T'IIS NAZBAS COMMUNITY  
SCHOOL**

NEW SCHOOL REPLACEMENT PRESENTATION 2/4/16

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Dr. Karina A. Roessel – Principal  
 Mr. Herman Farley – School Board Member  
 Wesley Bileen – Facility  
 Garrison Morris – Facility  
 Harriett Lansing – School Secretary

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New School March 4, 1965

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**Results of the NRC Application Review**

Summary of Score for T'is Nazbas Community School		
Description of Graded Criteria	Maximum Points	School's Points
Condition of Facilities and Educational Space	65	61.7
Deficiencies		
Crowding	5	0
Declining or Constrained Enrollment	5	3.9
Inappropriate Educational Space	5	0
Accreditation Risk	5	2.3
School Age	10	8
Cultural Space Needs	5	3.8
<b>Total</b>	<b>100</b>	<b>79.7</b>

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### Building Conditions

- Bldg 658 – (Residential) \$11,643,143.00 for replacement. H&V units (6) that need to be replaced. There are only 4 that are functioning. The heating system parts are obsolete as the company no longer exists. The plumbing system is unreliable. There are currently cast iron pipes installed, but these are splitting. There are frequent backups in the restrooms, water fountains, toilets and sinks. The vents are improperly fitted and cause a lot of unnecessary noise throughout the day and night. The building is poorly insulated with concrete blocks making up most of the construction of the walls. Handicap accessibility needs to be consistent in and around the building entryways. Electrical power panels need to be upgraded. Parts are obsolete. This building currently runs on diesel fuel.

[Pic 1;Pic2;Pic3;Pic4;Pic5;Pic6;Pic7;Pic8;Pic9;Pic10;Pic11;Pic12](#)

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### Building Conditions

- Bldg 659 – (Garage) \$104,692.00 cost for replacement. Leaking roof and broken garage doors. Contains a gravel roof.
- Bldg 660 – (Kitchen) \$4,931,590.00 cost for replacement. Replacement of major kitchen appliances \$47,568.90. Currently have difficulties with the dishwasher \$33,000.00 to replace. The parts for this are obsolete. The electric panel will need to be upgraded for new dishwasher. In 2014 a kitchen explosion resulted in school closure. Steam traps, heating units, steam boilers (1) the interior wall is deteriorating. The sewer line system needs continued maintenance. The hot/cold water lines need to be upgraded.

[Pic 1;Pic2;Pic3;Pic4;pic5;Pic6;Pic7;Pic8;Pic9;Pic10;Pic11](#)

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### Building Conditions

- Bldg 661 – (Administration/Elementary) \$12,148,585.00 cost to replace. Roof bubbled and blew off structure. Heating/cooling system was installed and is not functioning properly. Repairs made but not effective. The sewer lines continually break (cast iron). Ventilation to the gym needs to be replaced and contains obsolete parts. 30 surveillance cameras were to be installed we only have 15 that were installed. The power panel needs upgrading. Handicapped equipment needs replacing. The repairs and maintenance for the new fire alarm system is ongoing and costly.

[Pic 1;Pic2;Pic3;Pic4;Pic5;Pic6;Pic7;Pic8;Pic9](#)

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### Building Conditions

- Bldg 662 – (Fire Station) \$548,939.00 cost to replace. We do not have a fire truck. This vehicle was removed from campus in 2014. The roof needs repair – replace build up roofing. The floor is cracking. Replace garage door, concrete driveway. Restroom replacement needed. New Ventilation and new heating/cooling system needed.  
[Pic1;Pic2;Pic3;Pic4;Pic5;Pic6;Pic7;Pic8](#)
- Bldg 733 – Ground is eroding underneath well #7.

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### Pavement and Sidewalks



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### Pavement and Sidewalks



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Pavement and Sidewalks



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Pavement and Sidewalks



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Pavement and Sidewalks



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### Renovations from 2010

• Although the renovations took care of the outside of the buildings (Buildings 658, 660, 661 and 641), there are serious concerns that continually hinder the day to day Home living program and academic progress of the school as the conditions of these buildings continue to deteriorate.

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### K-8 Enrollment

School Year	Student Count K-8	Percent in Attendance
2012-2013	215	92.73%
2013-2014	199	93.39%
2014-2015	203	93.14%
2015-2016	150	94.16%

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### Accreditation Risk

- Residential Heating unit failure – 2014. Students were to be sent home due to non-working boiler unit.
- School closure due to explosion of kitchen equipment on October 16, 2014.
- Cited for Kitchen range hood fire suppression \$4,037.09 est.
- Cited for loading dock and bumpers need upgrading.
- Sewer Piping replacement \$136,138.80 est.
- Fire in quarters unit in 2010. Insulation was flammable.
- A new fire alarm system needed to be installed due to bad system. Connection, sound, and design were not compatible to school requirements.
- In the back log there is indications that "a whole new water/sewer waste line needs to be installed within each of the buildings." \$136,138.80

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### Accreditation Risk

- Install new water lines and fire hydrants
- Installation of generators \$426,905.00 est.
- Installation of vapor outlets for propane lines
- Engineering study for new lagoons – new lines and overall repairs.
- Replacement of concrete sidewalks \$1,500,000.00 bcklog
- Design and build a new bus bay with electrical hook-ups.
- Replace all asphalt roads \$869,486.00 bcklog
- Replace east parking lot \$357,000.00 bcklog
- Upgrading the 100,000 gallon elevated water tank \$237,157.00. This serves all buildings and housing area.

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### School Age



Dist	Type	Use	Status	Owned By	Dist Totl	Dist % of Totl	Age Yrs	Condition	Enclosures
60	Building	Shop Maintenance	Occupied	EA	897.00	5.88	47	Fair	\$121,620
61	Building	School Elementary Building	Occupied	EA	14,679.16	14.70	52	Poor	\$1,517,236
63	Building	High House	Occupied	EA	89.00	1.01	52	Poor	\$15,294
64	Building	Shop Facility/Maintenance	Occupied	EA	2,100.00	4.17	52	Fair	\$710,000
65	Building	Shop Facility/Maintenance	Occupied	EA	1,224.00	3.95	52	Fair	\$1,100,000
67	Building	Garage New 2 wheel	Occupied	EA	552.00	6.25	43	Fair	\$18,660
68	Building	Garage 2 wheel	Occupied	EA	6,300.00	41.25	43	Fair	\$114,114
69	Building	Garage, Horse/stock	Occupied	EA	552.00	5.17	43	Fair	\$124,000
69	Building	Kitchen	Occupied	EA	17,778.00	15.57	44	Poor	\$1,241,520
69	Building	School Elementary Building	Occupied	EA	42,726.00	46.73	44	Poor	\$1,143,555
69	Building	Tram/Shop	Occupied	EA	2,116.00	2.14	49	Fair	\$44,000
71	Building	Shop/Storage	Occupied	EA	24.00	0.1	41	Fair	\$14,125
TANK 031	Tank	Tank	Occupied	EA	0.00	0.00	11	Good	\$0
TANK 034	Tank	Tank	Occupied	EA	0.00	0.00	11	Good	\$0
TANK 035	Tank	Tank	Occupied	EA	0.00	0.00	11	Good	\$0
TANK 036	Tank	Tank	Occupied	EA	0.00	0.00	11	Good	\$0
TANK 037	Tank	Tank	Occupied	EA	0.00	0.00	11	Good	\$0
TANK 038	Tank	Tank	Occupied	EA	0.00	0.00	11	Good	\$0
TANK 039	Tank	Tank	Occupied	EA	0.00	0.00	11	Good	\$0

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### Cultural Space Needs

- Buildings created that are more "kid" or "student" friendly and provide safety and are secure.
- School designed that promote the "whole child" aspect and their development.
- Providing a school or classrooms that reflect the culture of students, parents, teachers, and stakeholders – Hogan style classrooms (Navajo Language and Culture class), libraries and meeting rooms.
- A non Institutionalized government structure, more inviting.

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### Cultural Space Needs

- Establish cultural practices such as having a student drop off area that is facing the east. Students are greeted by their Nations flags, and they proceed through an entry way that faces east...all promoting their culture and well being. Special Education accessibility in and around all buildings for students and their parents.
- An environment that promotes the use of the integration of technology use throughout the school with technology upgrades.
- Residential building facing east to welcome students throughout the week as our culture is important to us. A facility that is more "homey".

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### Students & Staff 2015-2016



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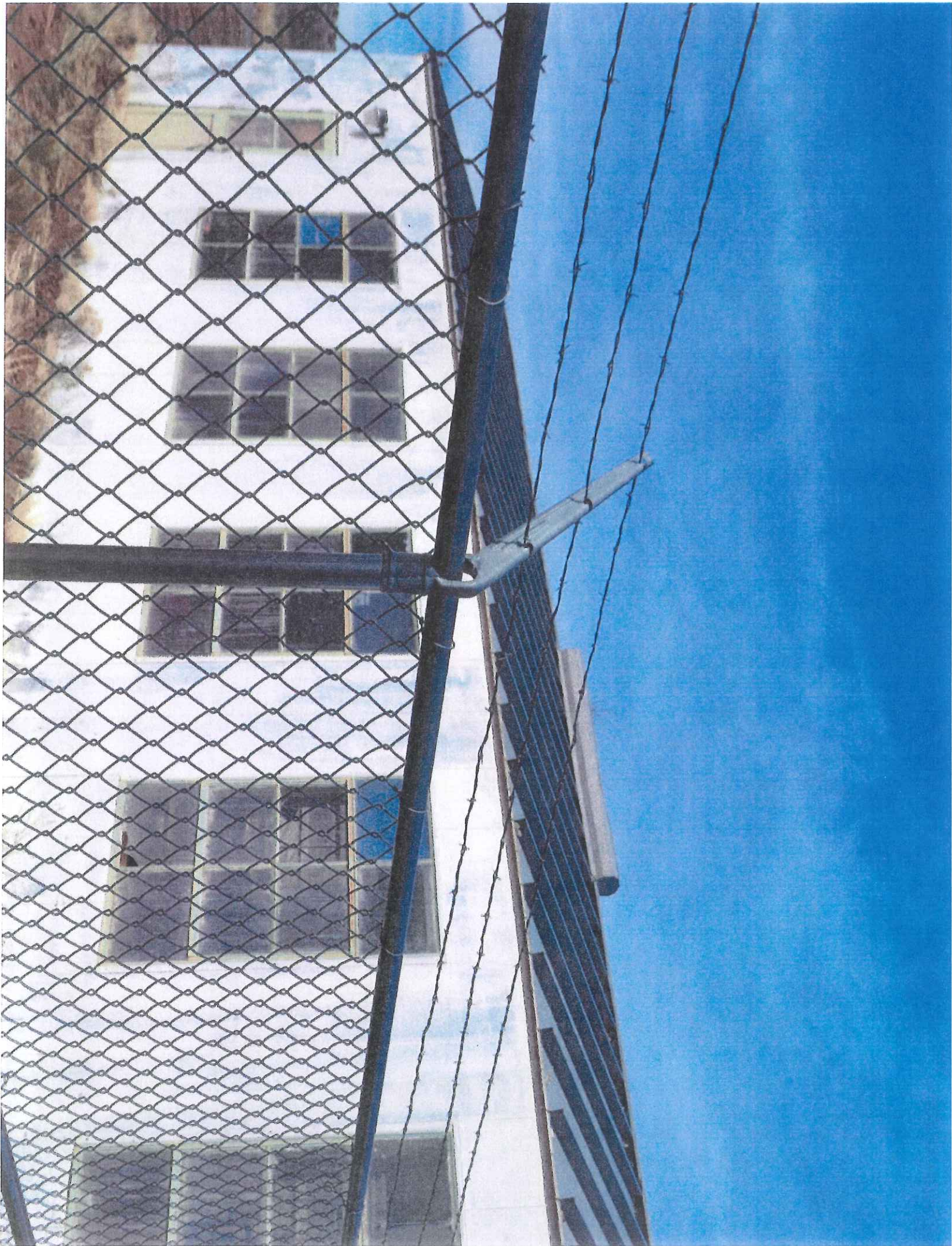
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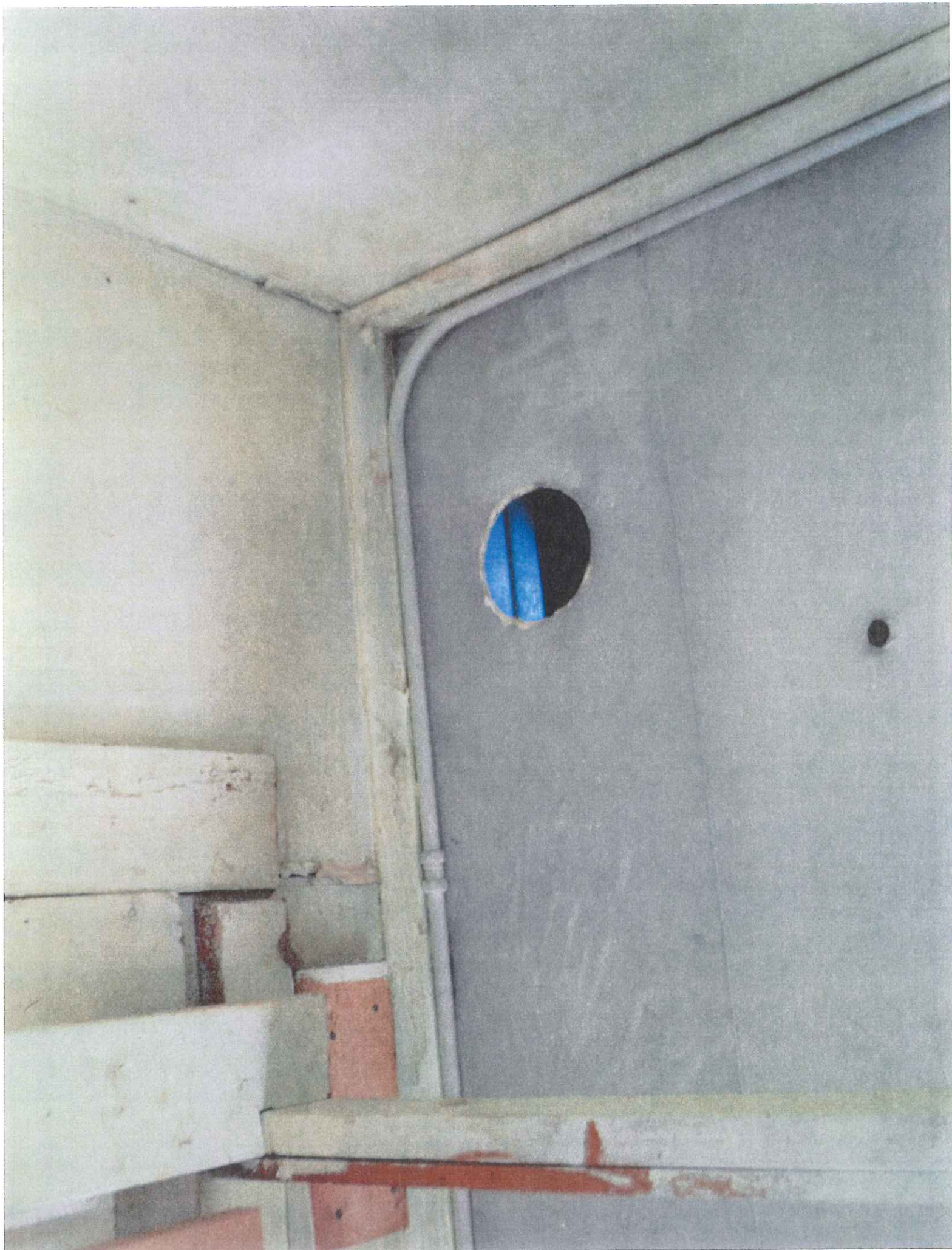


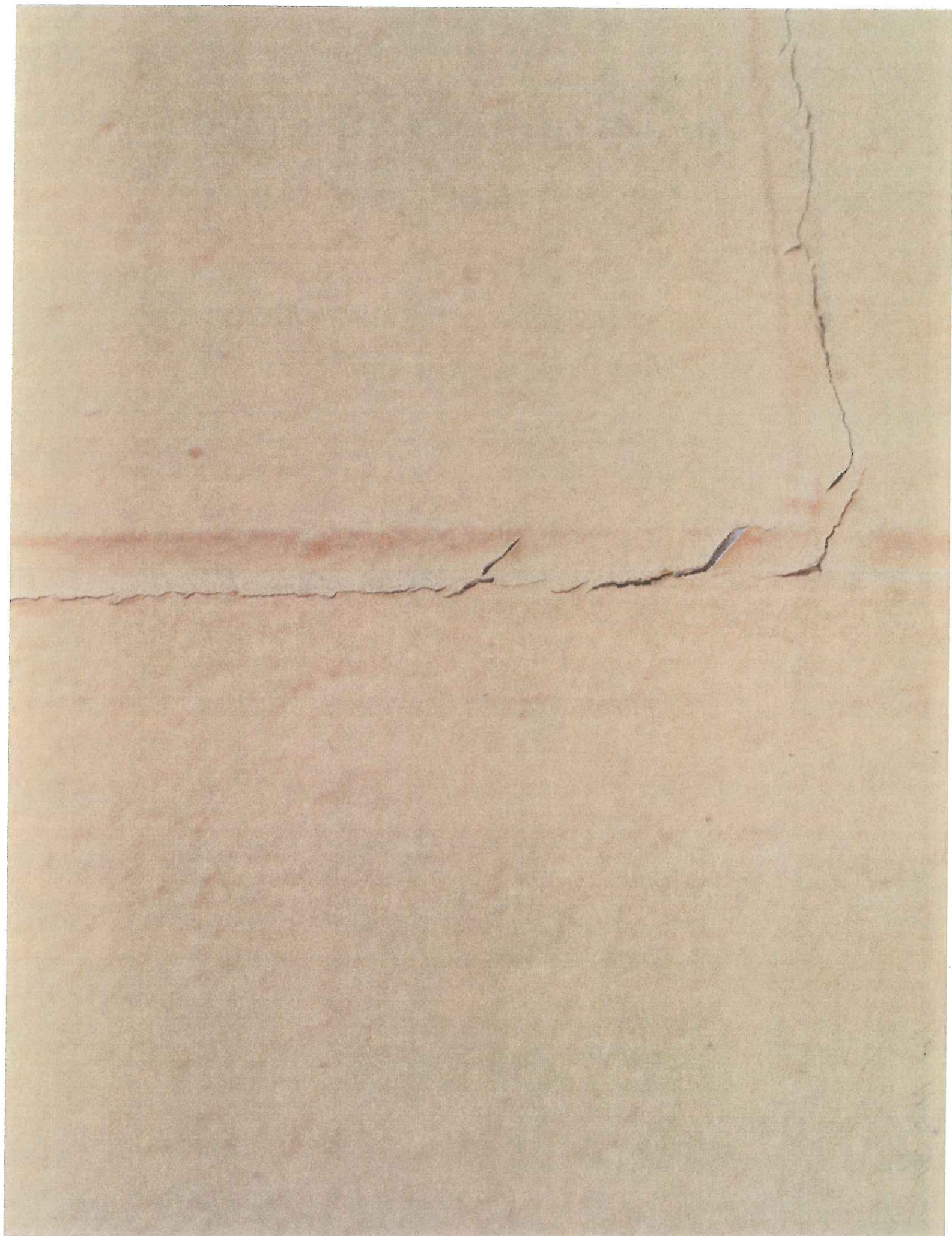


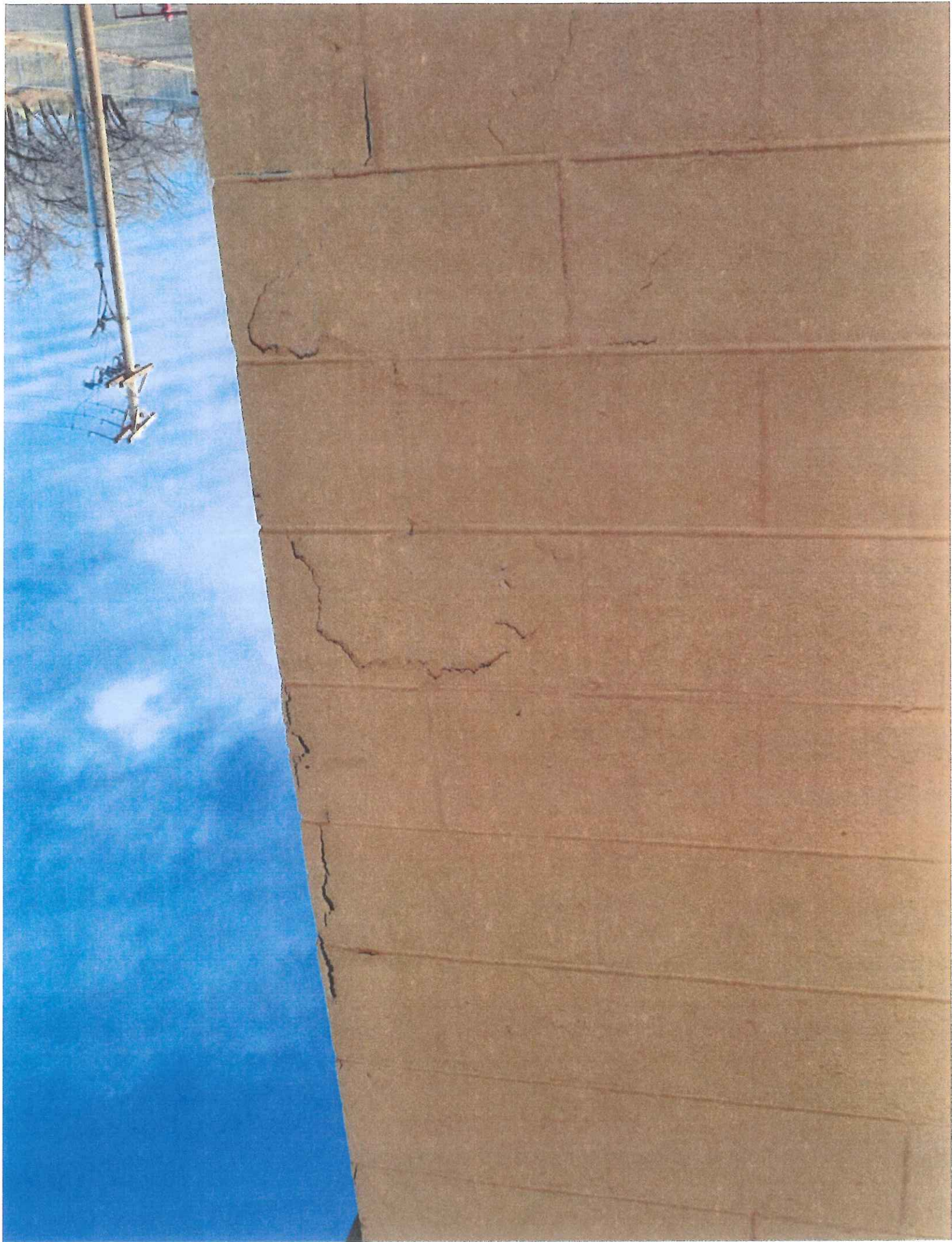


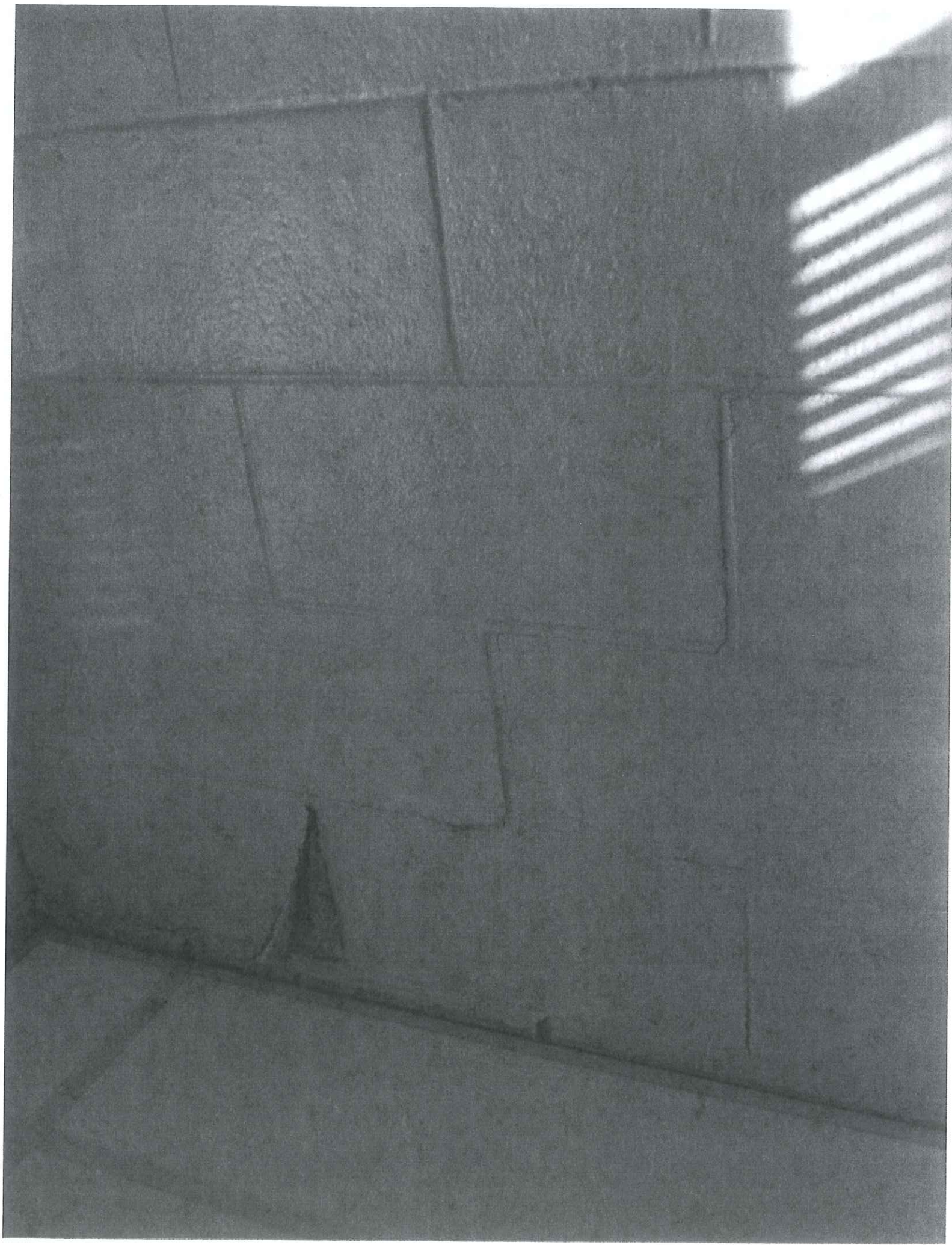




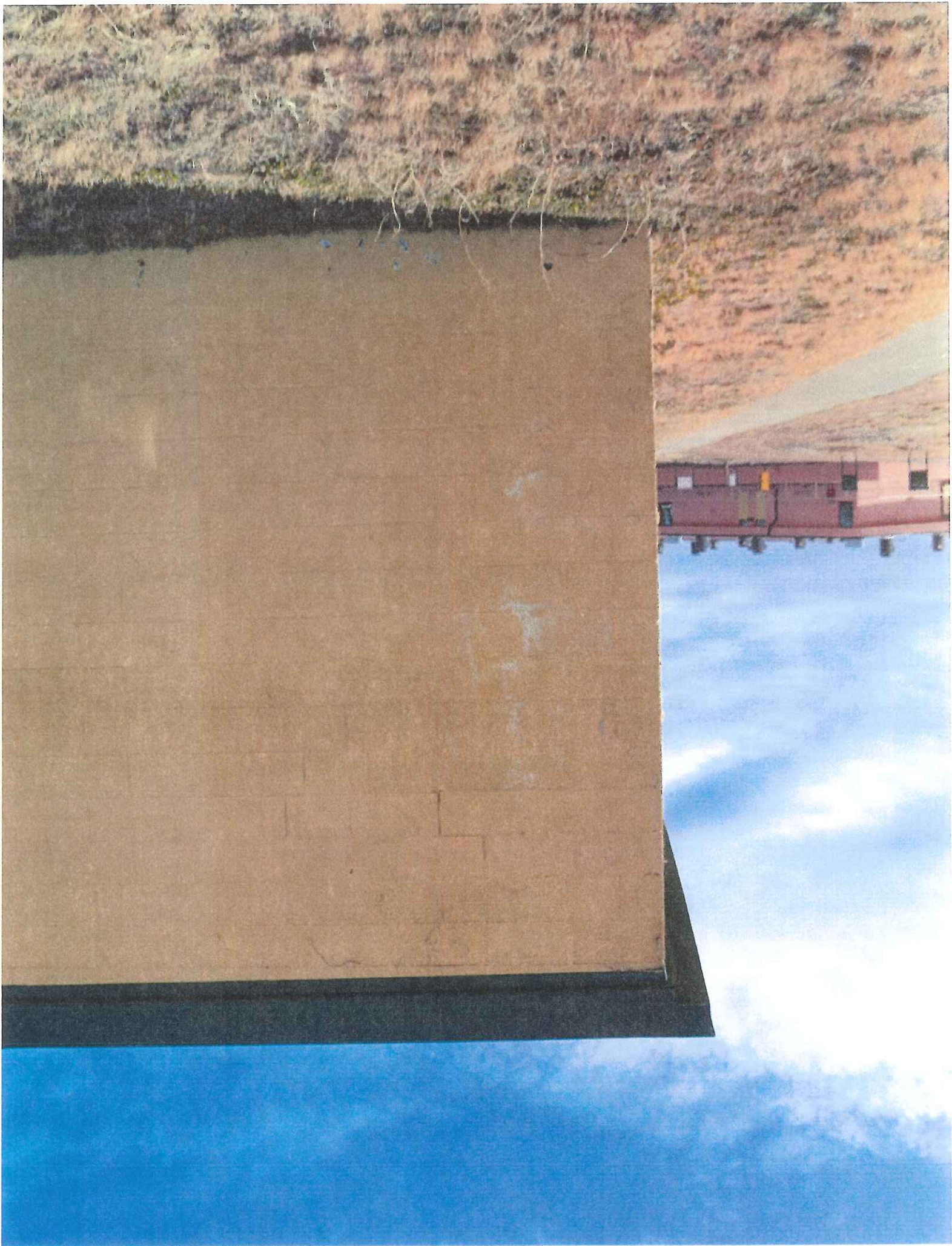










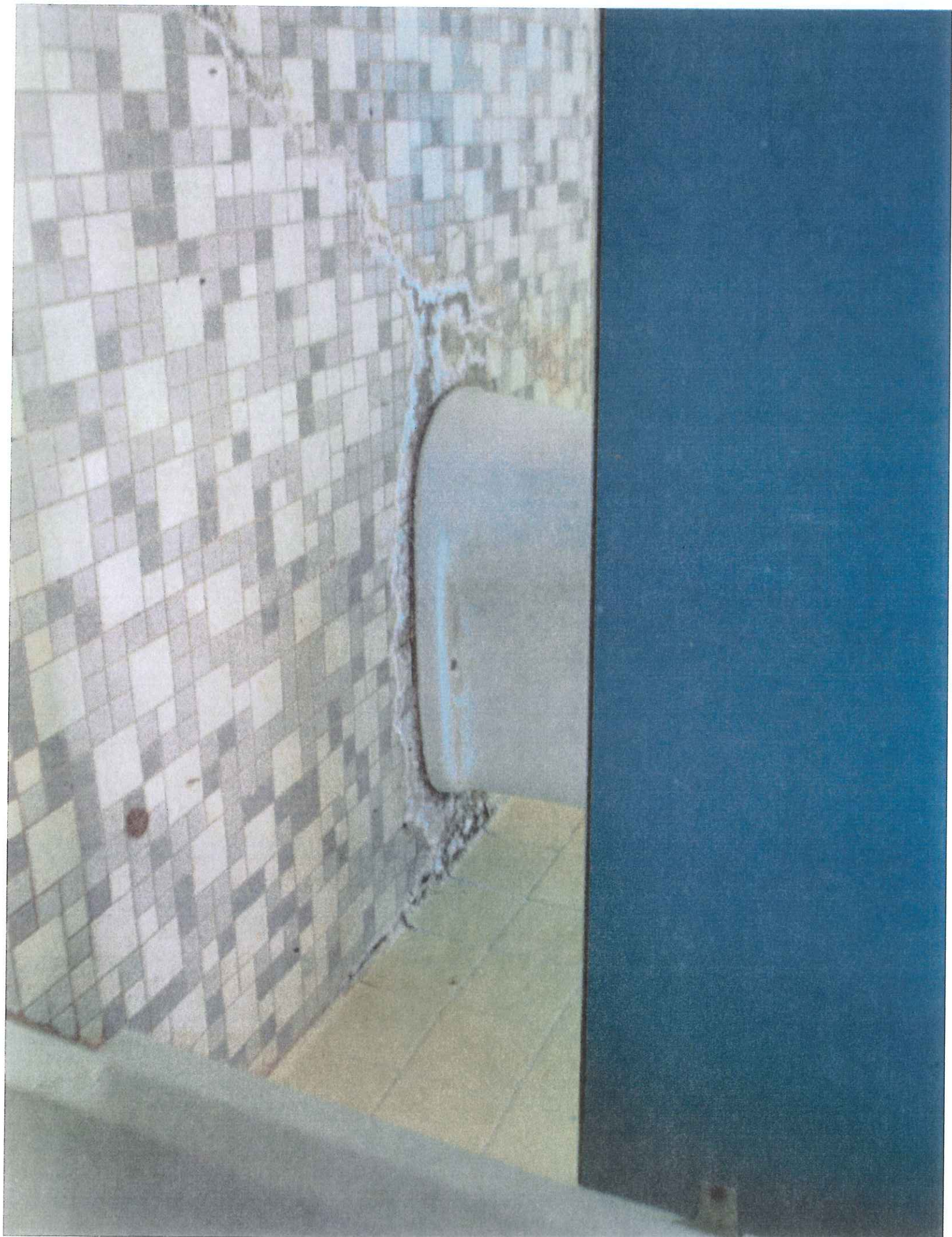










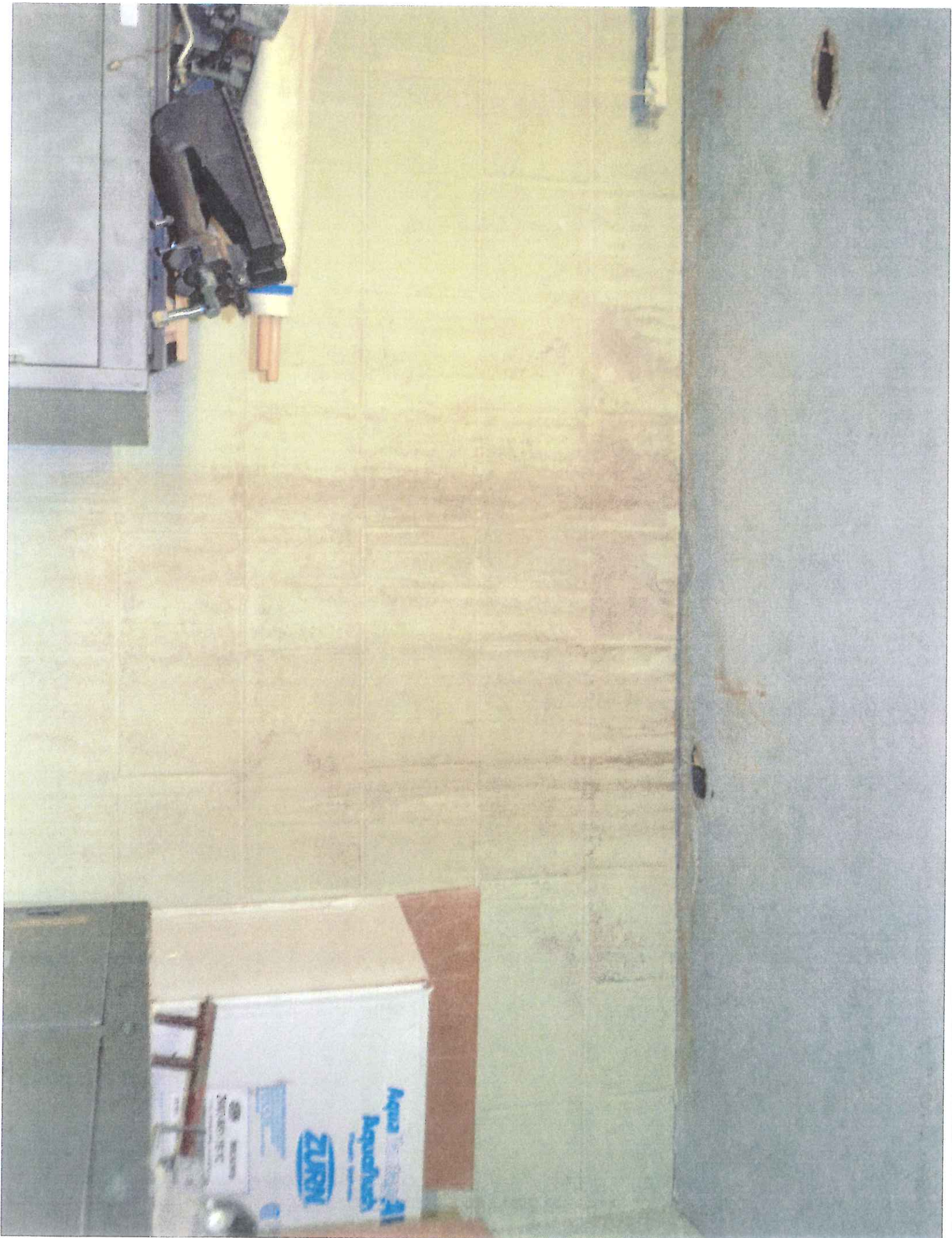


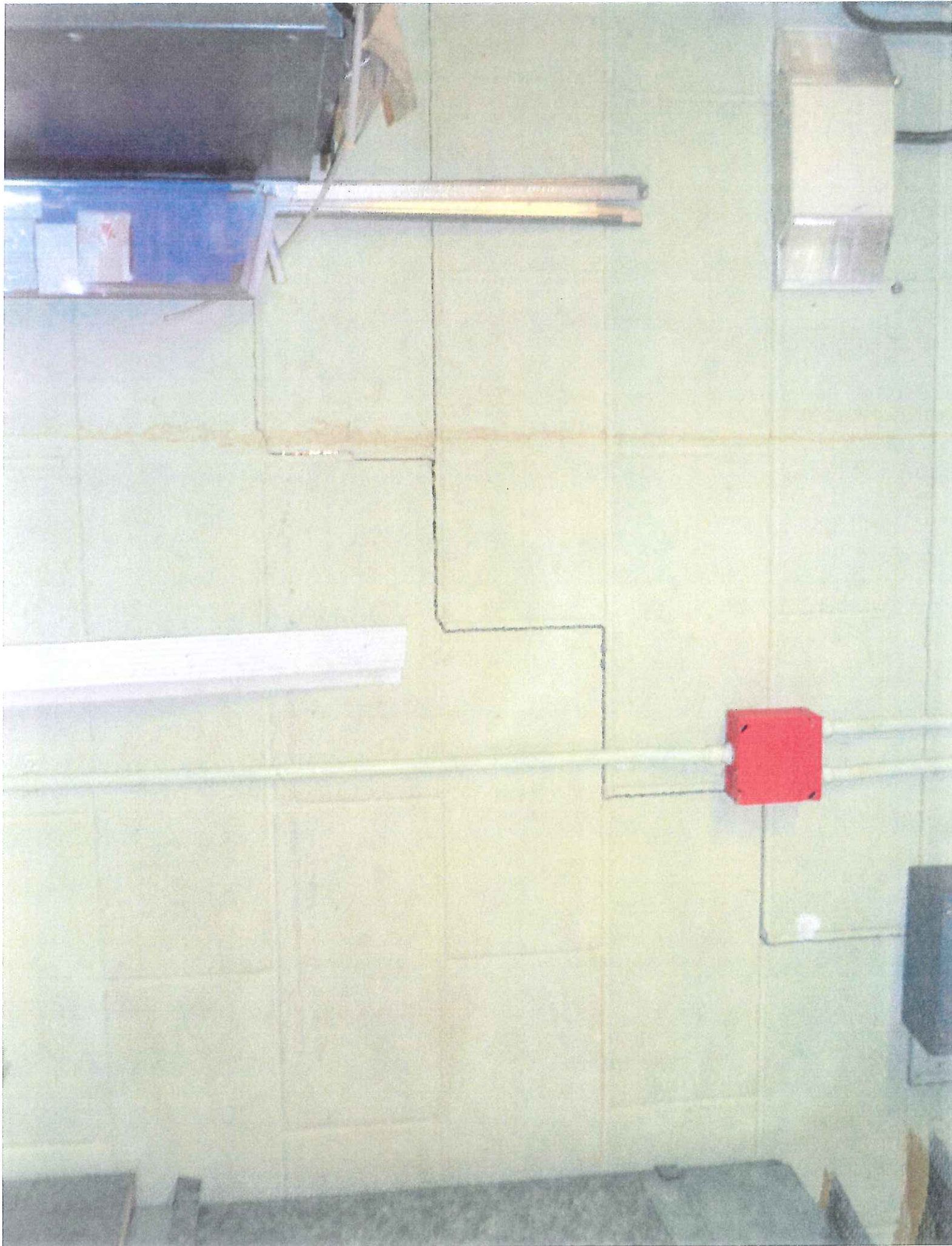


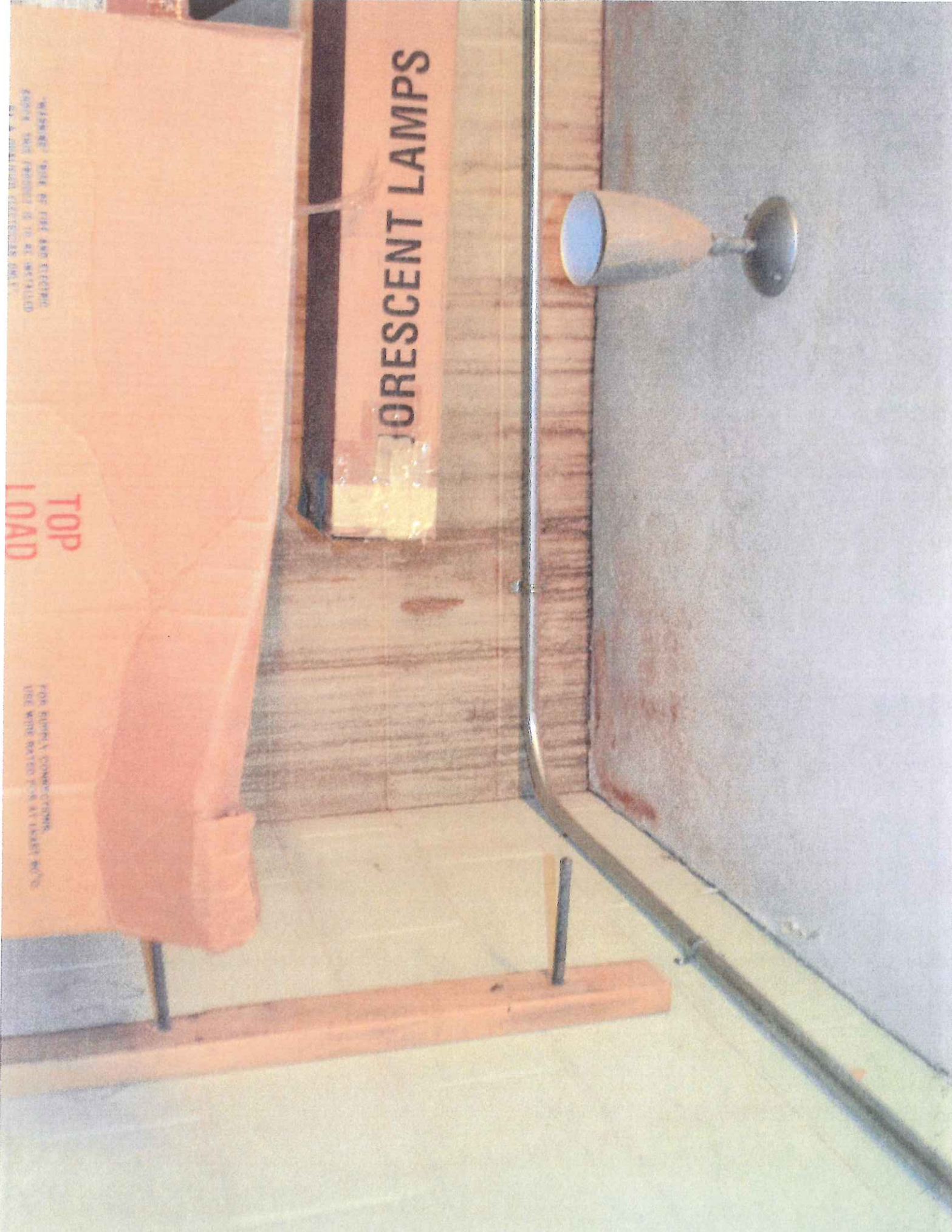












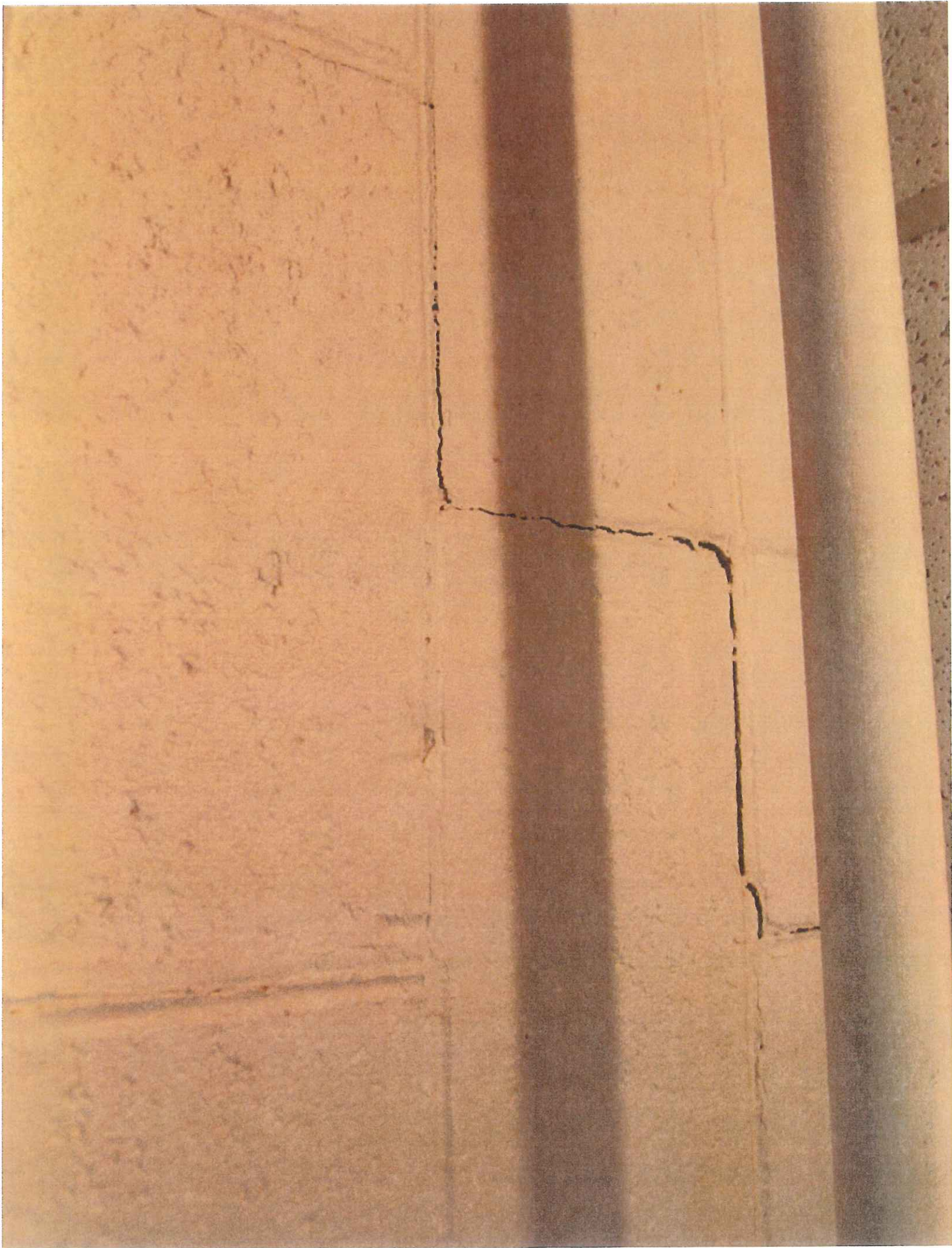
FLUORESCENT LAMPS

TOP  
LOAD

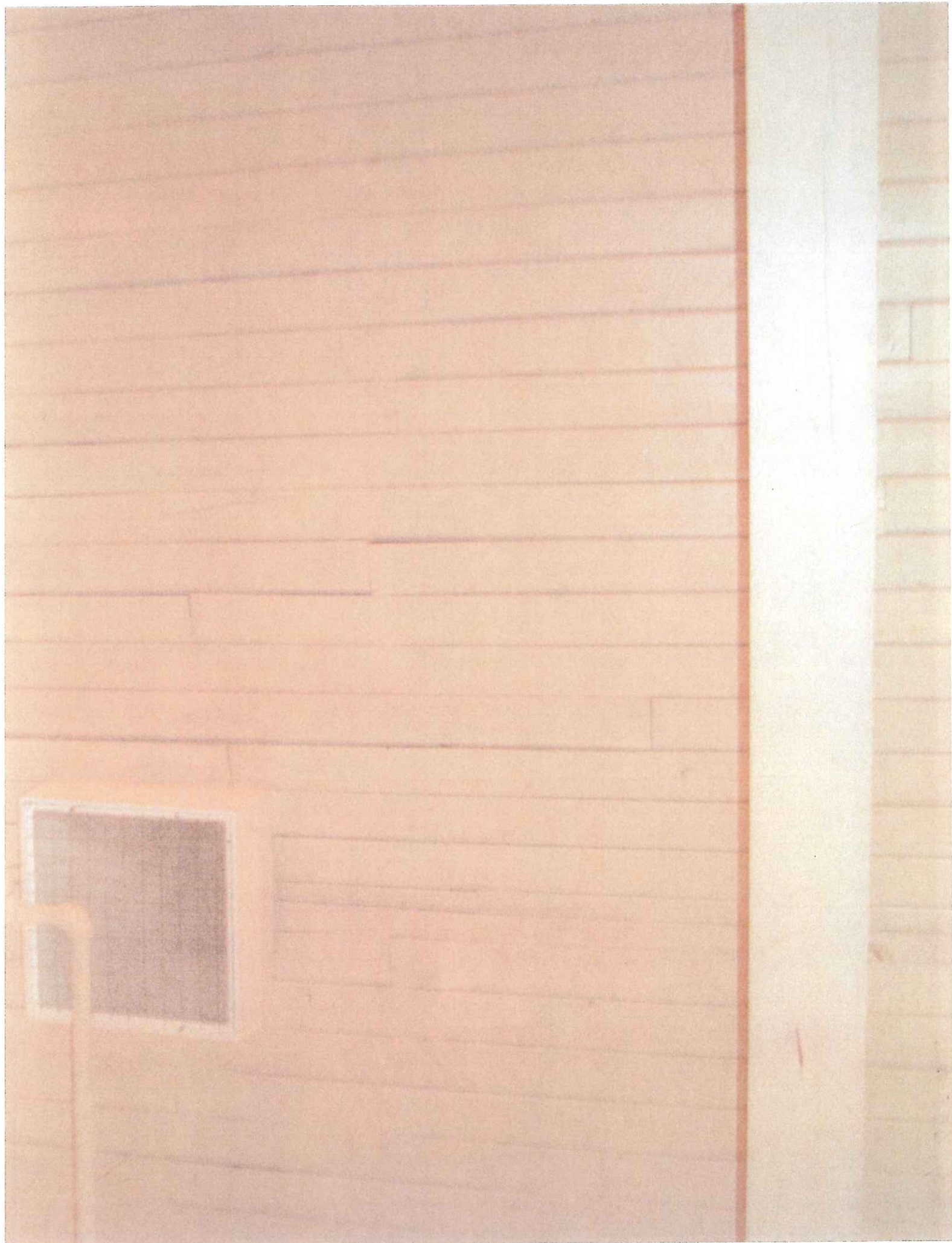
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BY A QUALIFIED ELECTRICIAN ONLY.

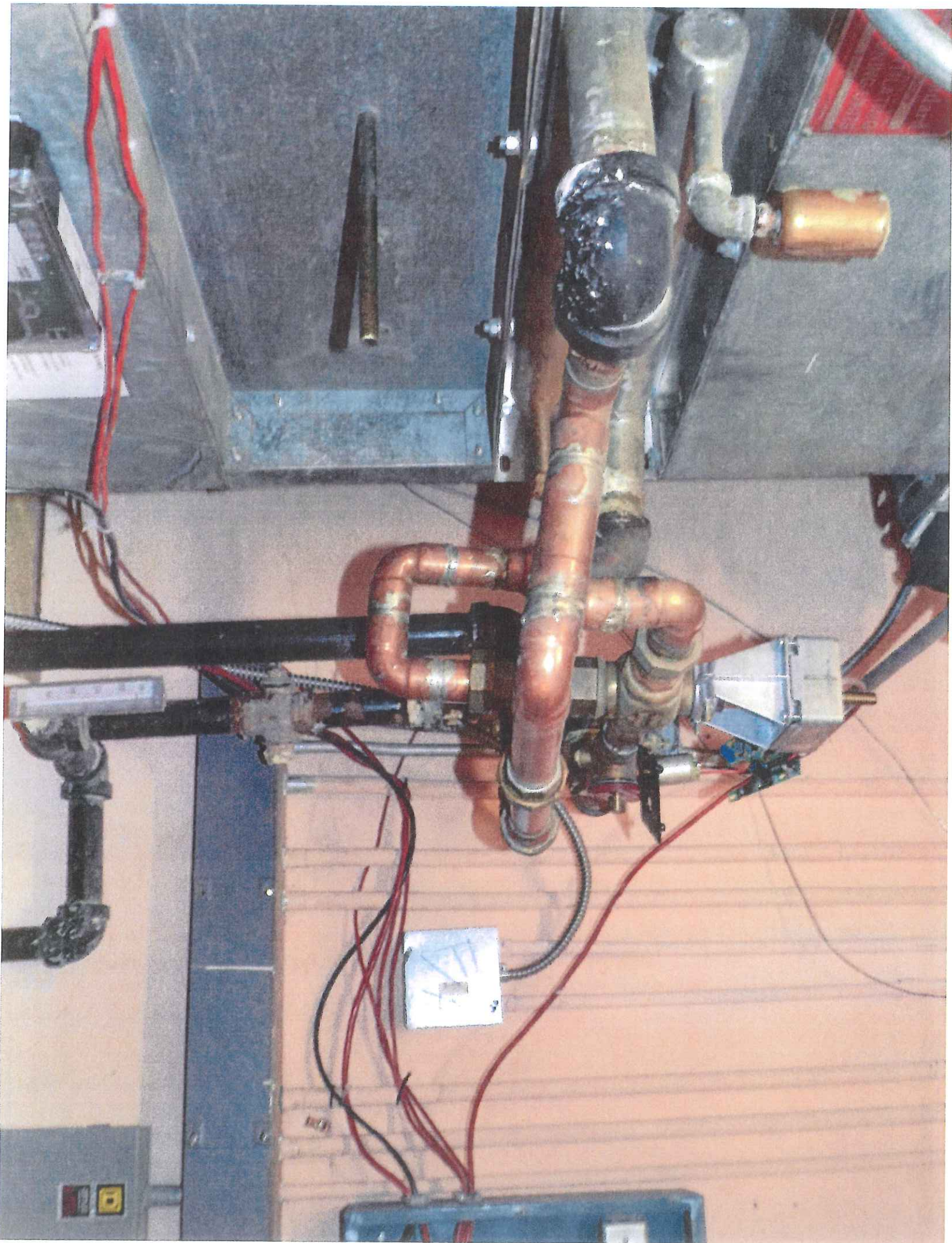
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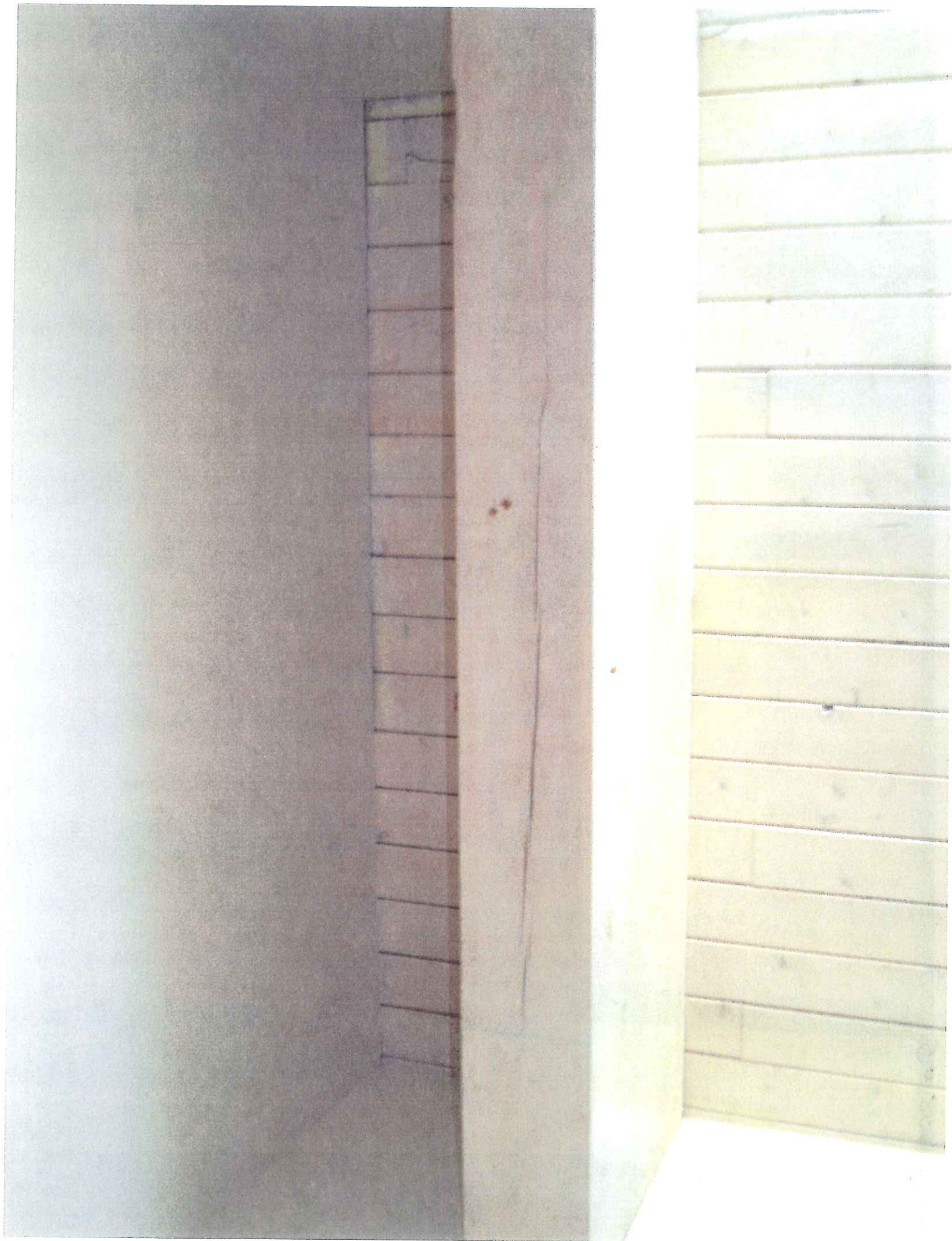




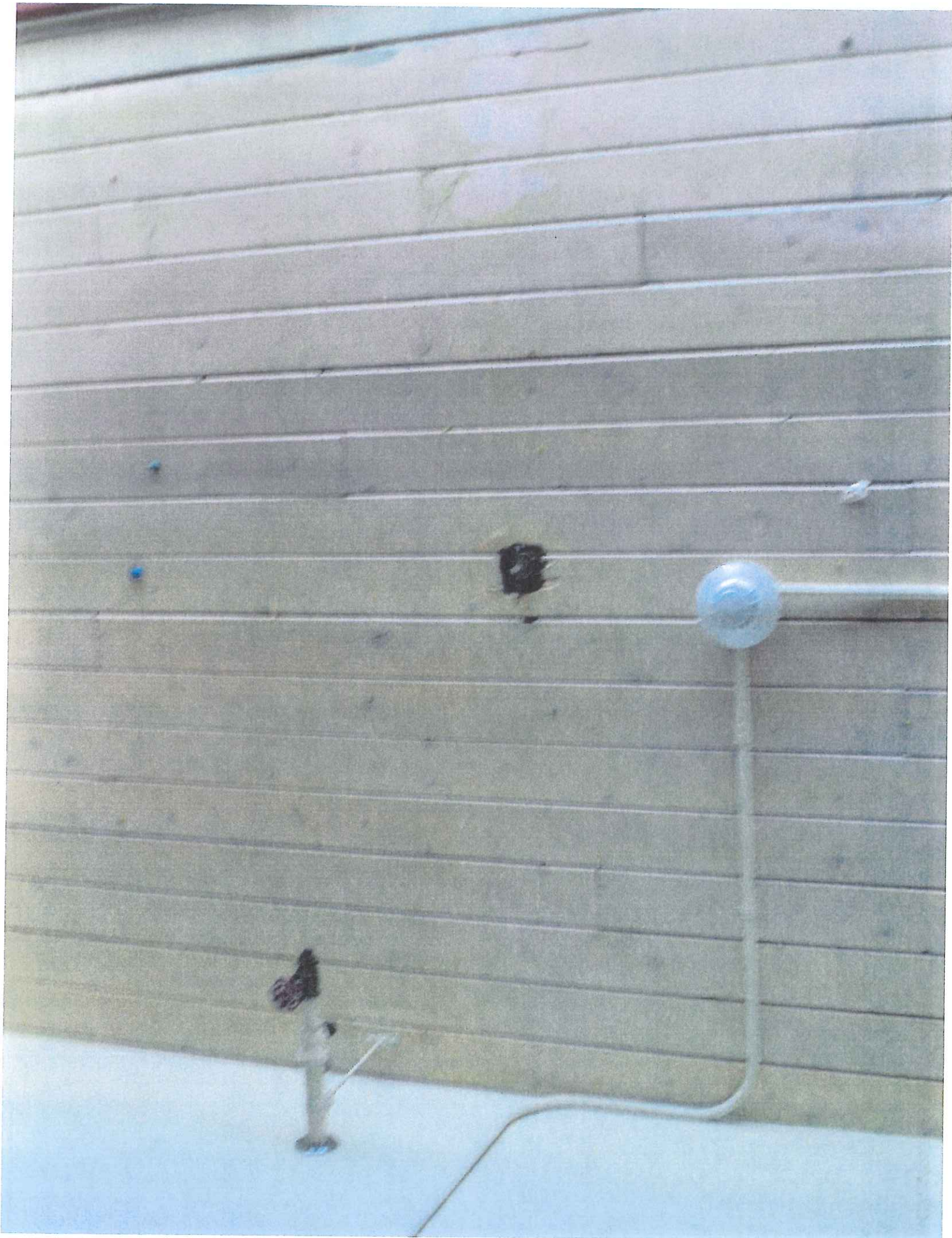










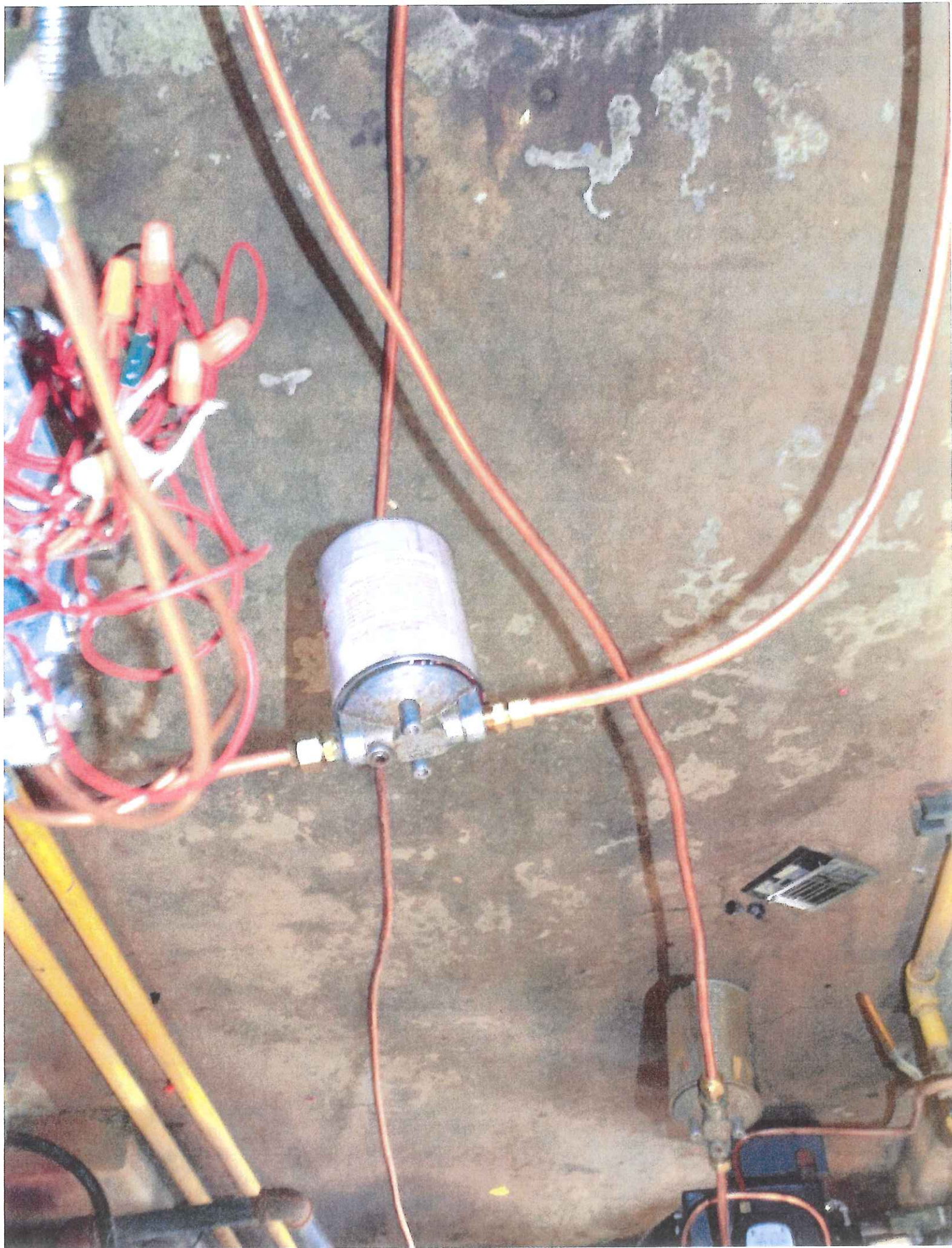


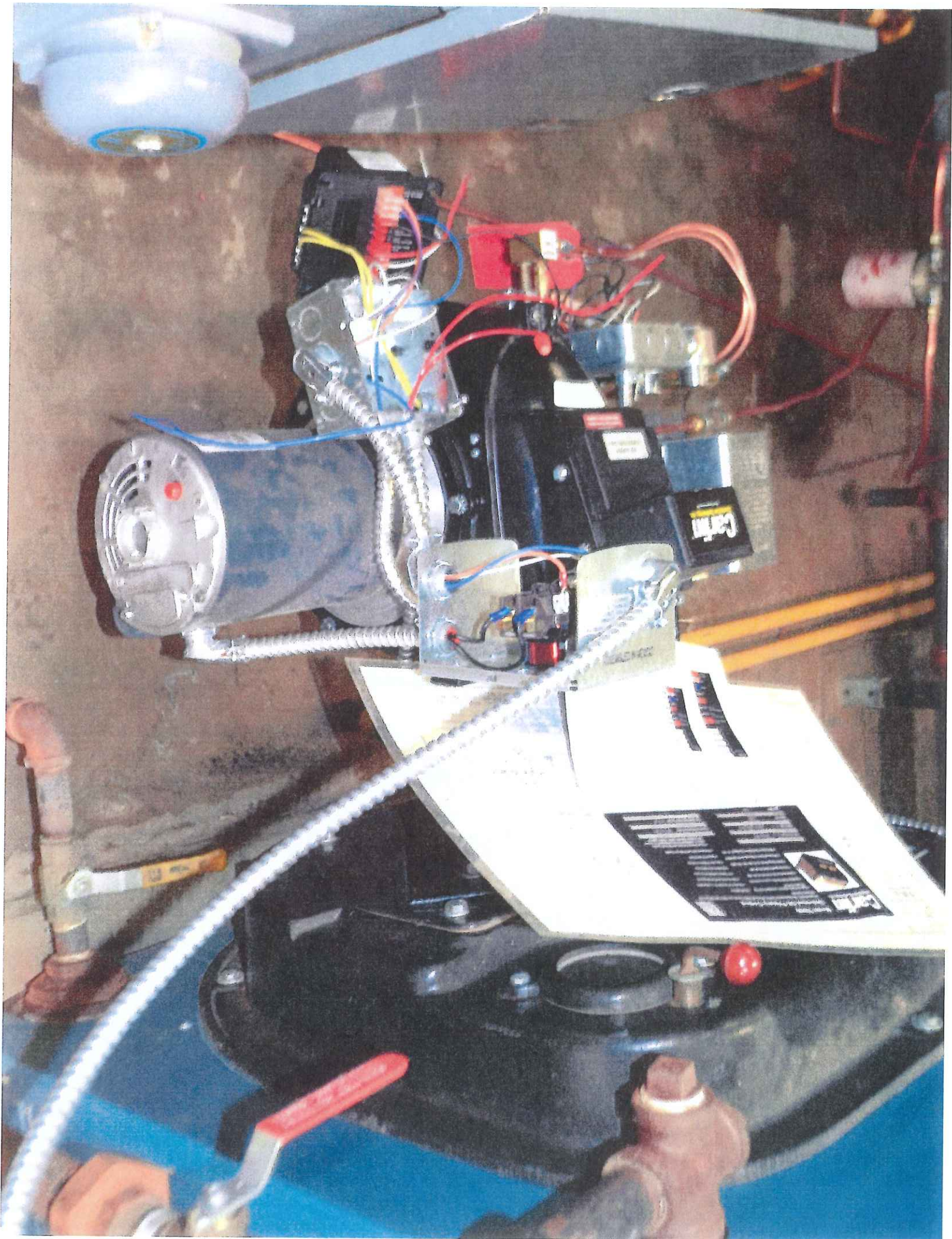




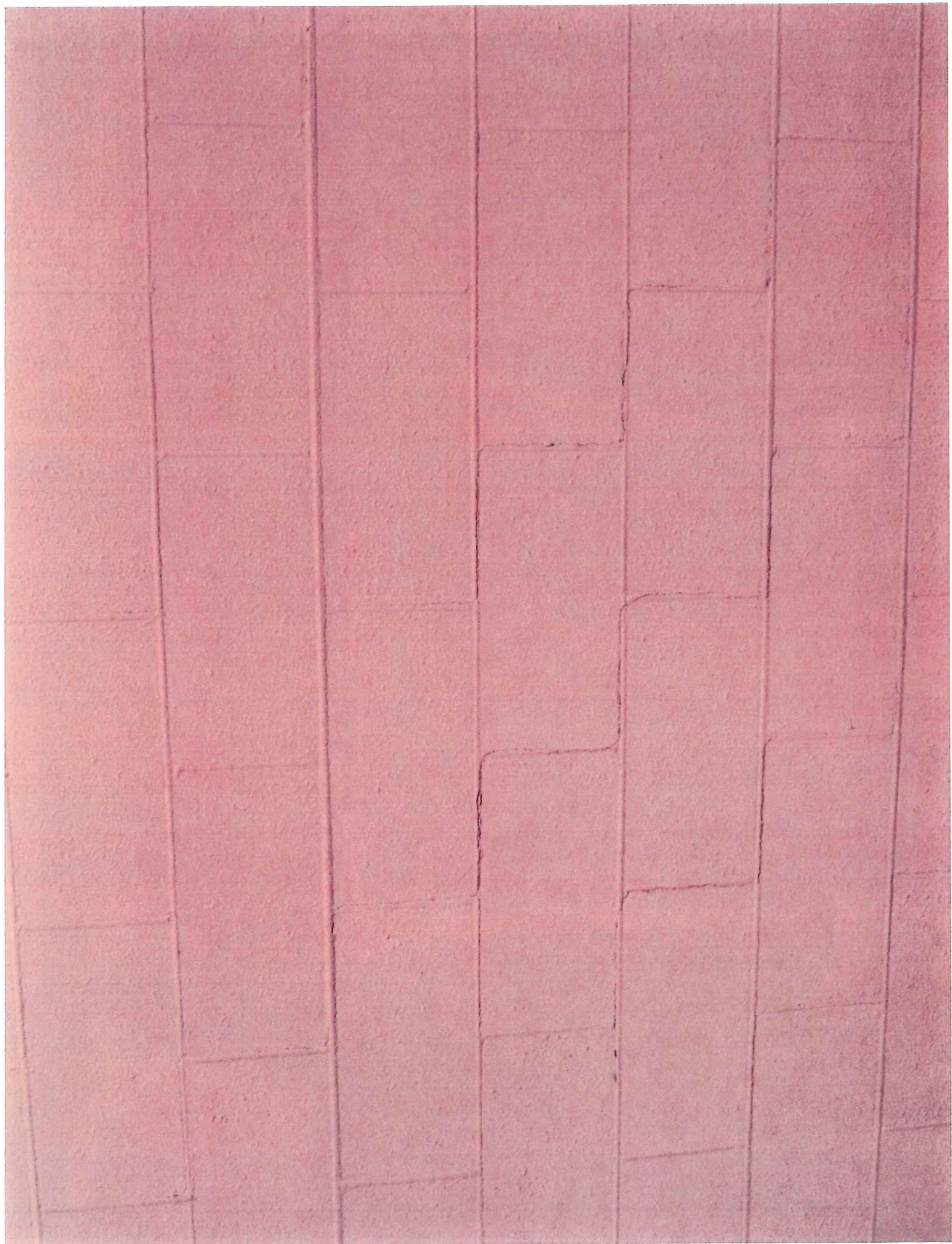
← non-flammable

WESTCHESTER  
Orange Tank  
1A



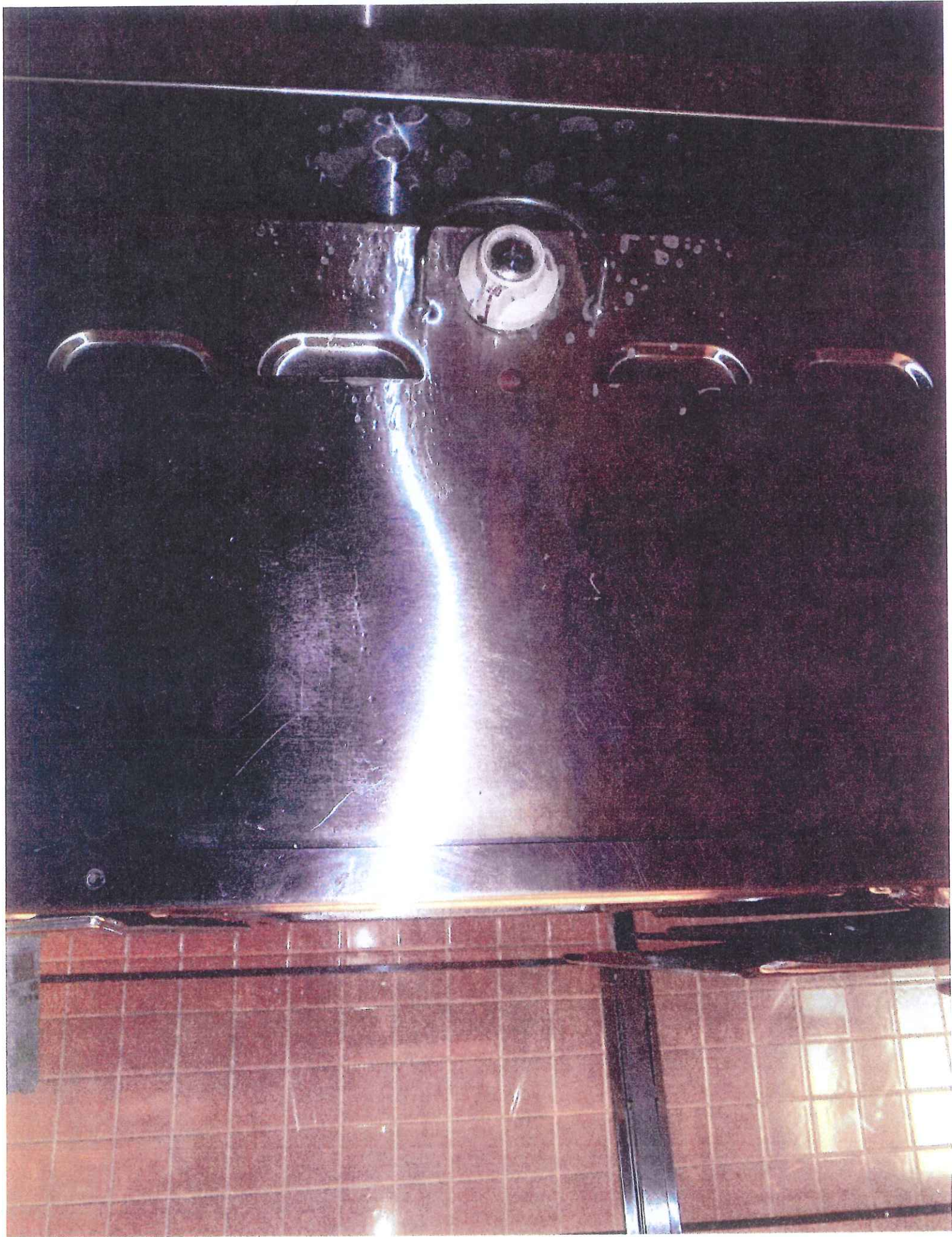








NEWMAN'S OWN





600A

600B

600C

600D



660





